

1.8 Closeout. Contractor shall notify the Architect and Owner when the Work is considered ready for Substantial Completion Inspection. The Architect shall conduct the Inspection to determine items to be listed (punch list) for completion or correction. Contractor shall comply with the Architect's instructions to correct and complete items before the Architect shall conduct the Final Inspection.

1.9. Lien Releases, Guarantees, and Warranties. At the time of the Final Inspection, the Contractor shall provide the Owner with all Lien Releases; and product, materials, and labor Guarantees and Warranties.

Section 02 26 00: Hazardous Materials

1.1 Identification. Contractor shall be responsible for hiring and paying for qualified hazardous material contractor to identify any hazardous materials that may be disturbed by the Work or that will require remediation.

1.2 Environmental Regulations. Hazardous material abatement contractor is to comply with all applicable federal, state, and local environmental regulations regarding testing, handling, treatment, containment, collection, transport, disposal, and discharge of hazardous material.

1.3 Coordination of Work and Permits. Contractor shall be responsible for coordinating the remediation of hazardous material as well as securing and paying for all necessary permits related to hazardous material remediation.

1.4 Certification. Contractor is to provide Owner with signed certification of hazardous material remediation including waste shipment and disposal immediately upon completion of remediation.

Section 02 41 91: Selective Demolition

1.1 Demolition. Portions of the existing building to be demolished are noted on the Architectural Drawings. Contractor shall not demolish any portion of the existing building, including finishes, not so noted on the Drawings without first consulting with the Architect.

1.2 Disposal of Waste. The Contractor shall dispose of all materials and waste in a manner approved by City, State, and Federal regulations, including the disposal of any and all hazardous materials and wastes.

Section 03 30 00: Concrete

1.1 Scope. Repair of concrete sidewalk.

1.2 Cutting and Patching. Cut concrete sidewalk as required to install PVC drain attached to downspouts (See Section 07 62 00). Patch with similar strength concrete.

1.3 Concrete Finishing. Finish to match existing.

Section 05 10 00: Structural Steel

1.1 Scope. See Structural Drawings.

Section 05 15 00: Steel Chains

Code Analysis
2426 Pennsylvania Ave.

Use Group	A (Assembly)
Construction Type	I.B
Height	2 stories/32 Ft.
Areas	First Floor Mezzanine Second Floor Balcony Total
Area of Construction	4620 SF 528 SF 3960 SF 660 SF 9768 SF
Work confined to Marquee and new Electrical Room	420 SF
Applicable Codes & Standards	IBC 2015 IEBC 2015 Secretary of the Interior's Standards for Rehabilitation

1.1 Scope. Steel Chains to be 7/8" Stud Link Anchor Chains by Blue Ocean Tackle or equal.

Section 05 41 00: Metal Stud Framing

1.1 Scope. See Structural Drawings for sizes of metal studs of marquee.

1.2 Submission. Contractor to submit shop drawing for placement of metal stud framing for review and approval of Architect prior to installing.

1.3 Electrical Panel wall. New electrical panel wall to be 20 ga. 3 5/8" metal studs at 16" on center with 5/8" sheetrock on closet side only. Brace as required to hang Electrical panel.

Section 05 75 00: Decorative Formed Metal

1.1 Scope. See Architectural Drawings for intent of Decorative Formed Metal design

1.2 Submission. Contractor to submit shop drawing of Decorative Formed Metal for review and approval of Architect prior to fabrication.

1.3 Metal Cresting. Metal Cresting No. 5076, 4 1/2" high by W.F. Norman Corporation.

1.4 Color. Decorative Formed Metal to "Copper Penny" or equal. Contractor to submit color samples to Architect for review and approval prior to fabrication.

1.5. Gauge. Contractor to advise Architect of appropriate metal gauge of Decorative Formed Metal.

Section 07 50 00: Membrane Roofing and Flashing

1.1 Materials. Thermoplastic single ply roof membrane by Johns Manville or equal.

1.2 Flashing. Flashing and counter flashing to be per manufacturer's specifications.

1.3 Cants and Curbs. All cants and curbs are to be of pressure treated wood.

1.4 Slope. Slope to gutters and/roof drains for positive drainage as shown on drawings.

1.5 Ventilation. See Section 07 72 00 for ventilation requirements.

Section 07 62 00: Flashing, Gutters, Downspouts, and PVC Drains

1.1 Scope. Metal flashing, gutters and downspouts, and PVC drains.

1.2 Gutters and Downspouts. 3" half round 0.32" aluminum gutters by RDCA or equal. Color: Granite. Round Downspouts to match

1.3 Flashing. Aluminum Sheet conforming to ASTM B209, 0.167" thick.

1.4 PVC Drains. Downspouts to connect to PVC drains with cleannout 6" above grade and extend under sidewalk to daylight at curb. Exposed PVC to be painted to match downspout.

1.5 Installation of Flashing. Install flashings to form water tight fit. Make corners square, surfaces true and straight in planes, and lines accurate to profiles. Seal metal joints watertight.

1.6 Installation of Gutters and Downspouts. Secure gutters and downspouts in place using aluminum fasteners. Slope gutters 1/4 inch per foot to downspouts.

Specifications
2426 Pennsylvania Ave

Section 01 11 00: Summary of Project

1.1 Scope. The Work comprises all labor, equipment, materials, and services necessary for the reconstruction of the Marquee and associated electrical and acoustical work at 2426 Pennsylvania Avenue Baltimore, Maryland. All work shall be in conformance with the drawings, notes, and specifications herein.

1.2 Codes. The Work shall conform to the most recent edition of the International Building Code, and all applicable City, State, and National laws, rules and regulations pertaining to the Work.

1.3 Standards. The Work shall conform to the Secretary of the Interior's Standards for Rehabilitation.

1.4 Verification. Contractor shall verify all conditions, materials, measurements, quantities, and dimensions before beginning the Work.

1.5 Permits. Contractor shall obtain and pay for all permits, licenses, and permissions necessary to carry out the Work.

Section 01 31 00: Project Management and Coordination

1.1 Scope. Contractor shall be responsible for coordinating all aspects of the Work, including but not limited to ordering, storing, and delivery of materials and supplies, labor and Sub-Contractors.

1.2 Temporary Storage and Use of Public Space. Contractor shall be responsible for securing and paying for permission and permits necessary to store materials, site offices, staging, and other use of the public sidewalk or street, alley or other public locations.

1.3 Schedule. Contractor shall be responsible for developing a construction schedule prior to commencing the Work. The schedule shall be reviewed and approved by the Architect and Owner prior to commencing the Work.

1.4 Submittals. Contractor shall submit all preliminary shop drawings, product data, and samples for review and approval by the Architect.

1.5 Change Orders. Contractor shall submit all requests for Change Orders, Alternatives, and Substitutions for review and approval to the Architect. The Owner shall approve all reasonable requests for Change Orders approved by the Architect in a timely fashion.

1.6 Requests for Information. Contractor shall respond in a timely manner for all reasonable requests for information from the Architect or Owner. The Owner and Architect shall respond in a timely fashion for all Requests for information from the Contractor.

1.7 Inspection by the Architect. Architect shall inspect the Work on a regular basis. The Architect shall provide the Contractor with reasonable notice of date and time of inspections. Contractor to supply and facilitate access to all areas of the Work being inspected.

Section 07 72 00: Marquee Vent

1.1 Scope. One 60 Sq. inch metal vent, painted to match color of Decorative Formed Metal with insect screen. See Architectural Drawings for location.

Section 08 02 00: New Wood Windows

1.1 New Windows. New windows to match existing as closely as possible in design, glazing reflectivity and materials.

1.2 Submittals. Contractor to provide manufacturer's product data to the architect for review.

1.3 Wood Sash. New wood sash is to be installed in original wood jambs, heads and sills, modified as required.

Section 23 00 00 HVAC

1.1 Investigation. Contractor is responsible for investigating location of HVAC systems that may be affected by the Work. If found, it is to be brought to the attention of the Architect as soon as possible for resolution.

1.2 Relocation. Possible relocation of HVAC affecting this Work is not part of the current Work. Contractor may be asked to provide estimate for relocation Work and if accepted, carry out the relocation.

Section 26 50 00 Electrical

1.1 See Electrical Drawings for extent and specifications for electrical Work.

Section 26 56 00

1.1 See Electrical Drawings for locations and types of lighting, and relocated panel box.

Section 27 40 00 Audio Visual System

1.1 Audio. See Darnley Sound Labs for specifications. See Reflected Ceiling Plans for locations of speakers.

1.2 Videos Screen. See Watchfire for specifications.

DAVID H. GLEASON ASSOCIATES, INC.

ARCHITECTS

520A NORTH EUTAW STREET, BALTIMORE, MD 21201 410.728.1810

Permit Set:
Arch Social Club Marquee
2426 Pennsylvania Avenue
Baltimore, Maryland

Date:
July 2020

Revisions:

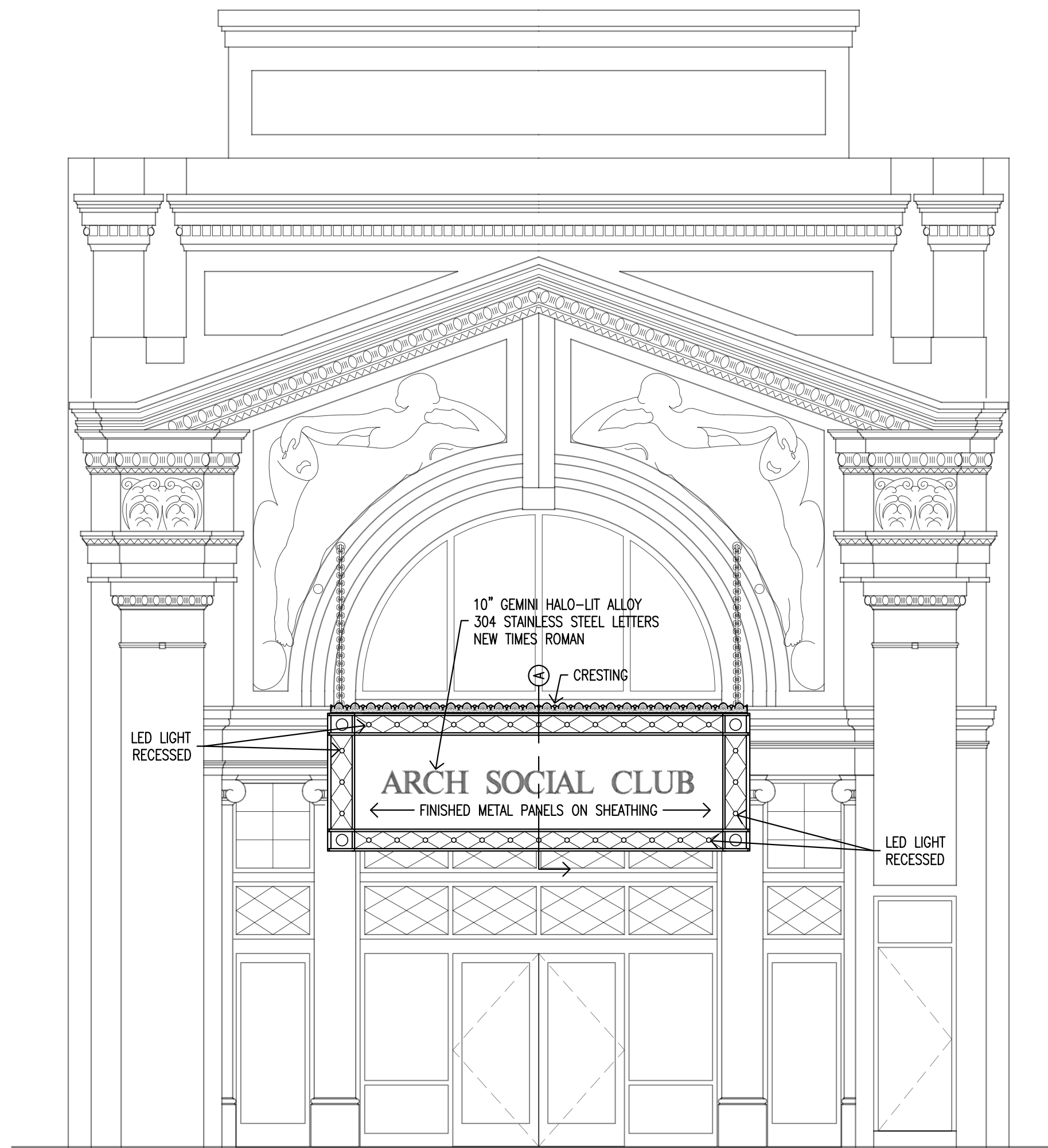
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SPECIFICATIONS

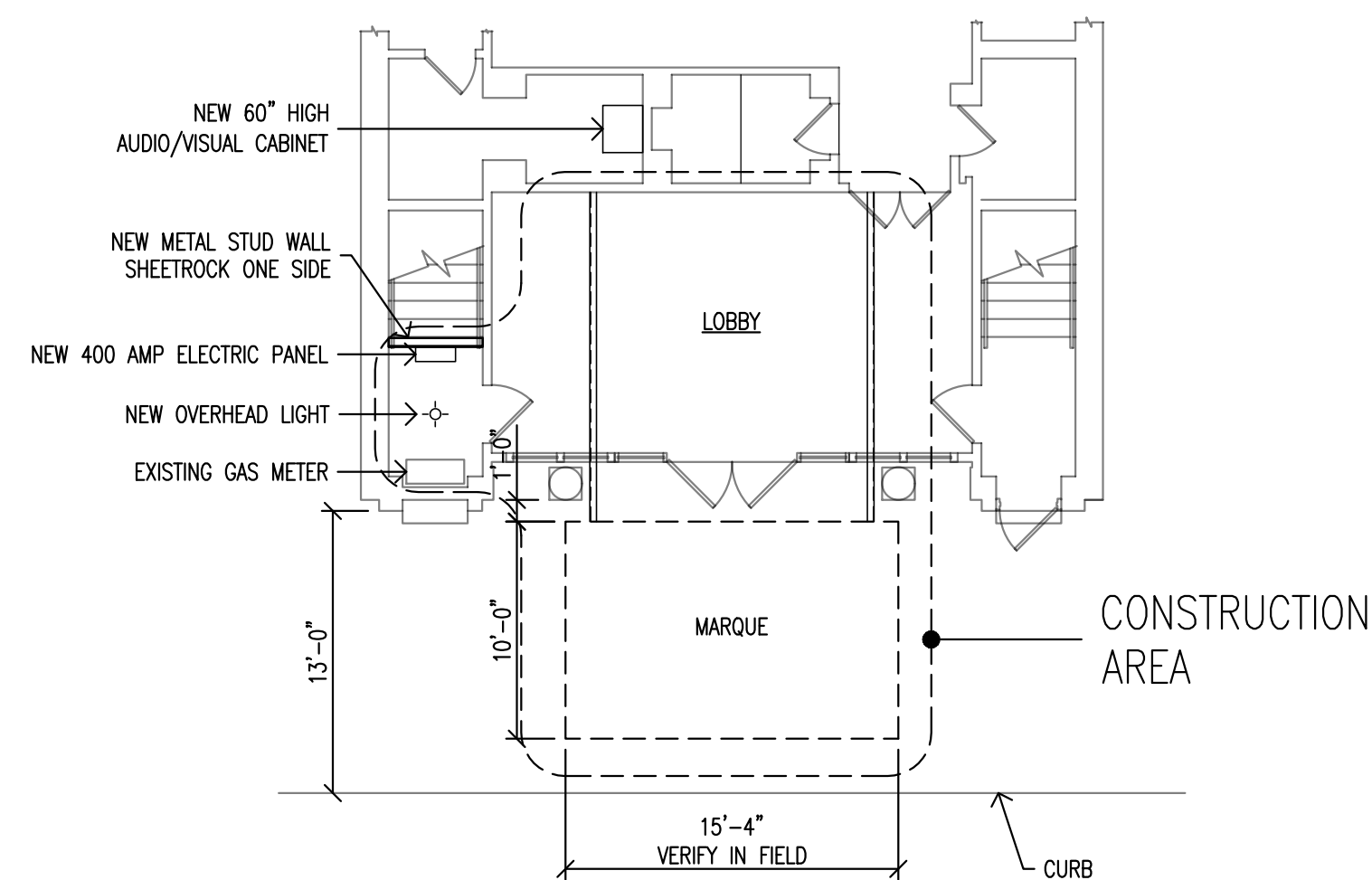
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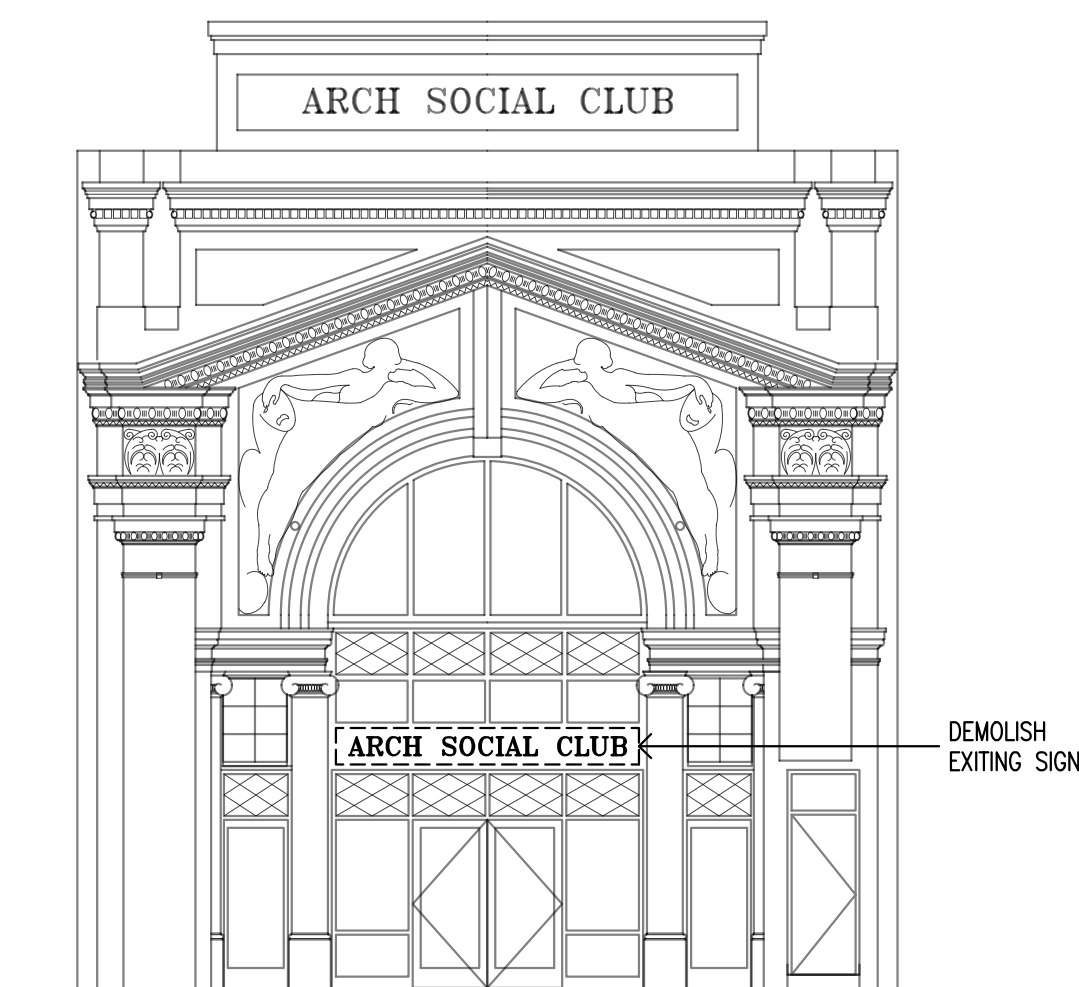
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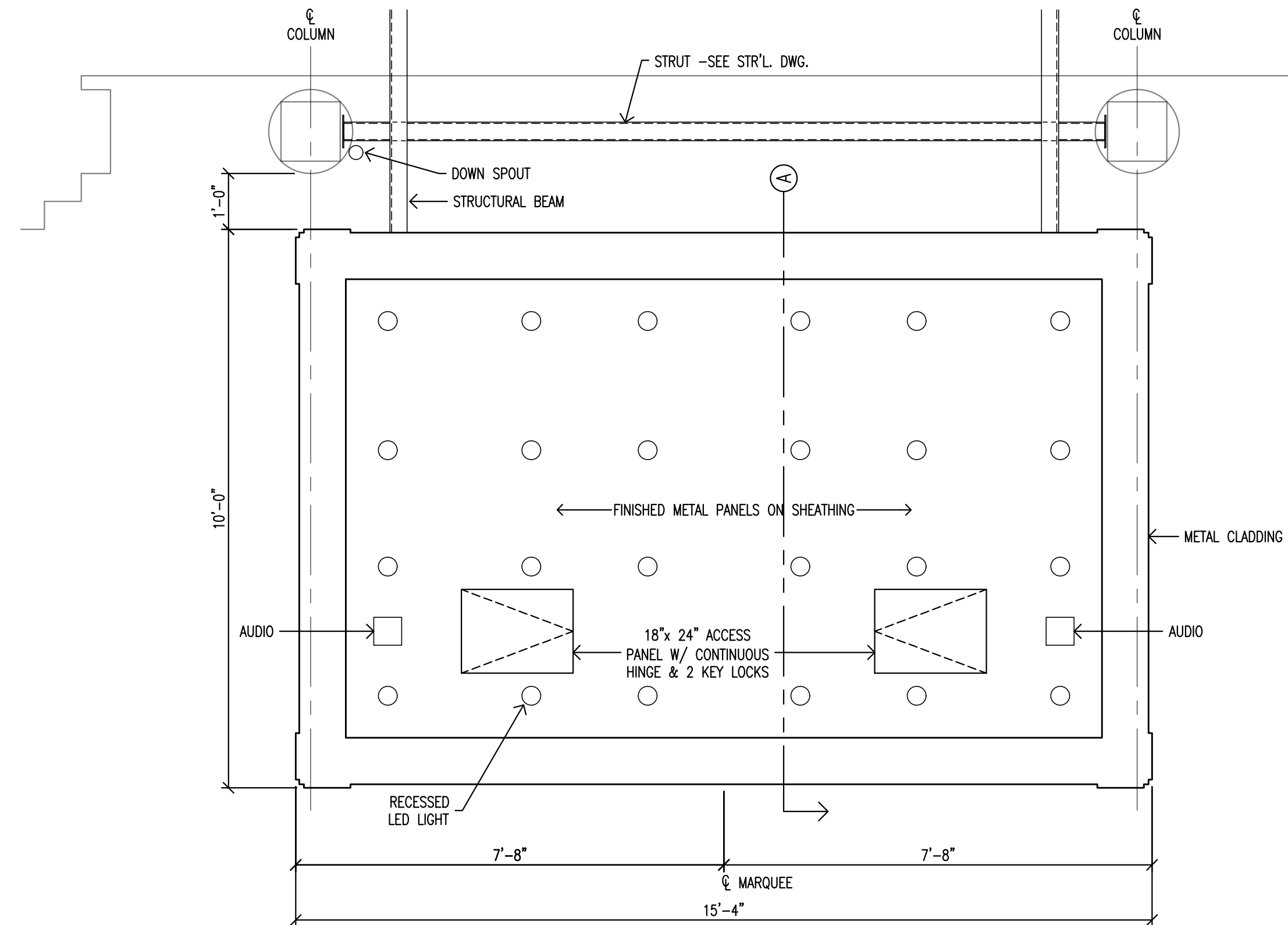
PENNSYLVANIA AVENUE ELEVATION
1/4" = 1'-0"



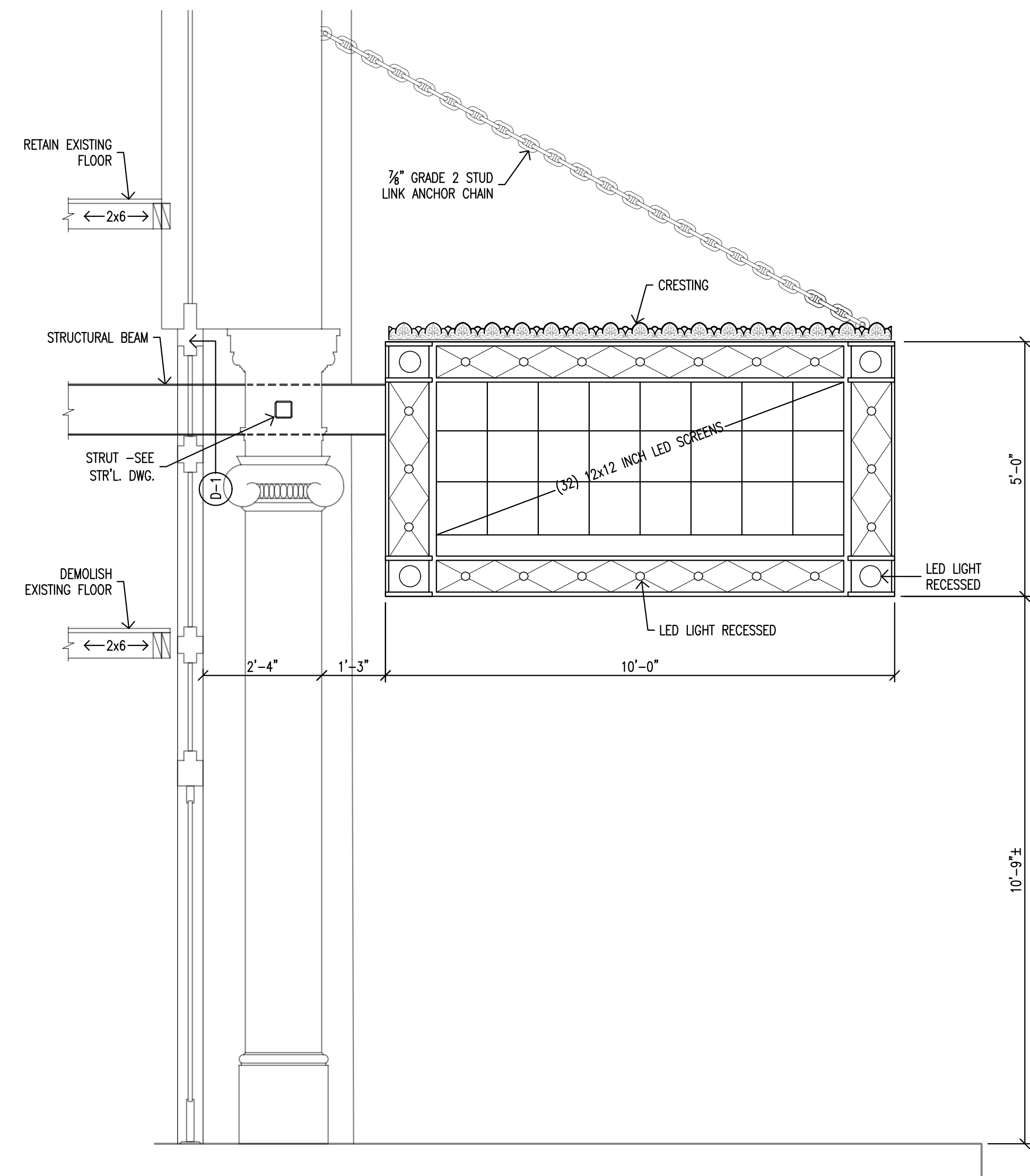
PARTIAL FLOOR PLAN
1/8" = 1'-0"



PENNSYLVANIA AVENUE ELEVATION - DEMOLITION
1/8" = 1'-0"



REFLECTED CEILING PLAN
1/2" = 1'-0"



SOUTH ELEVATION
1/2" = 1'-0"

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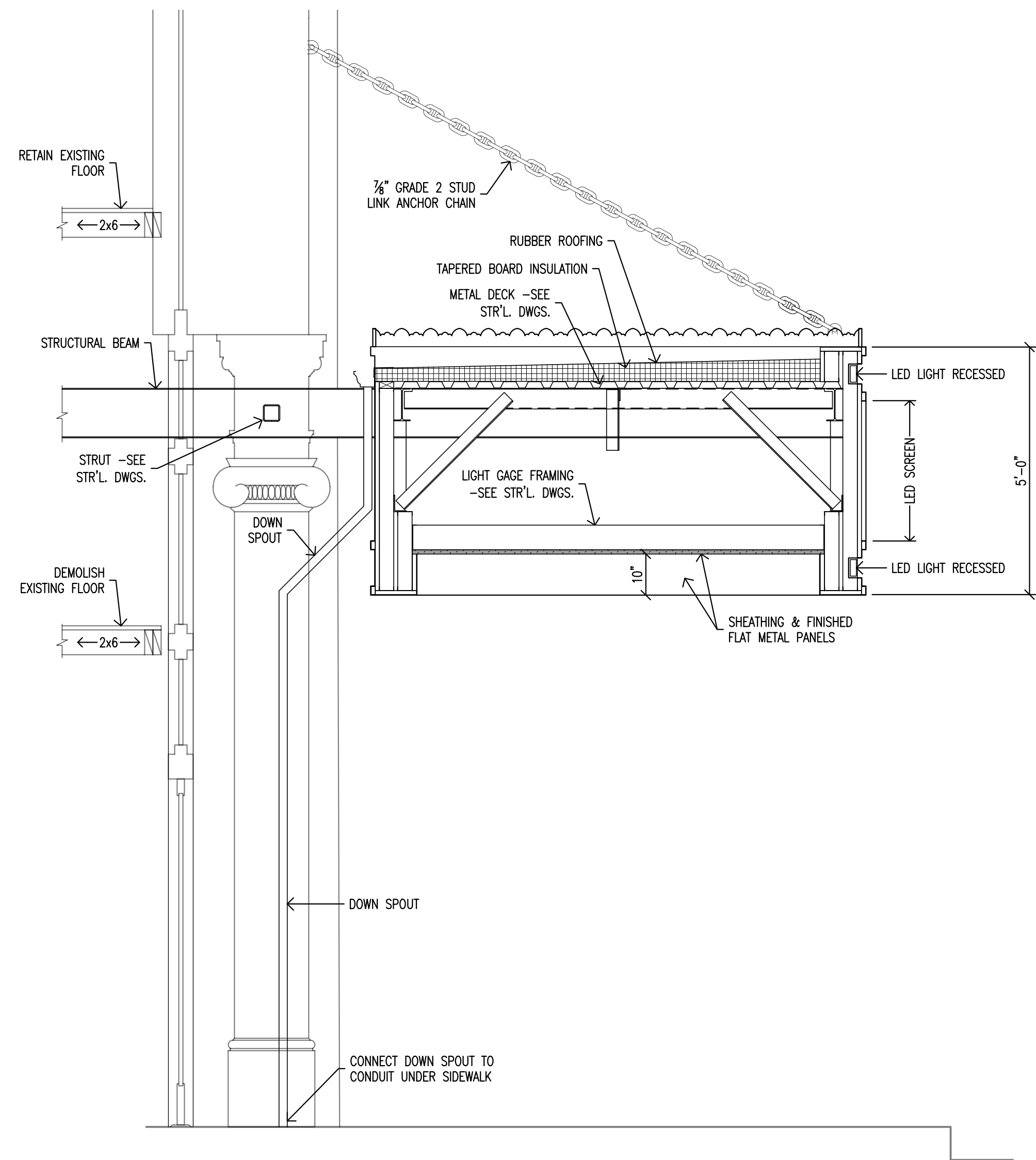
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&
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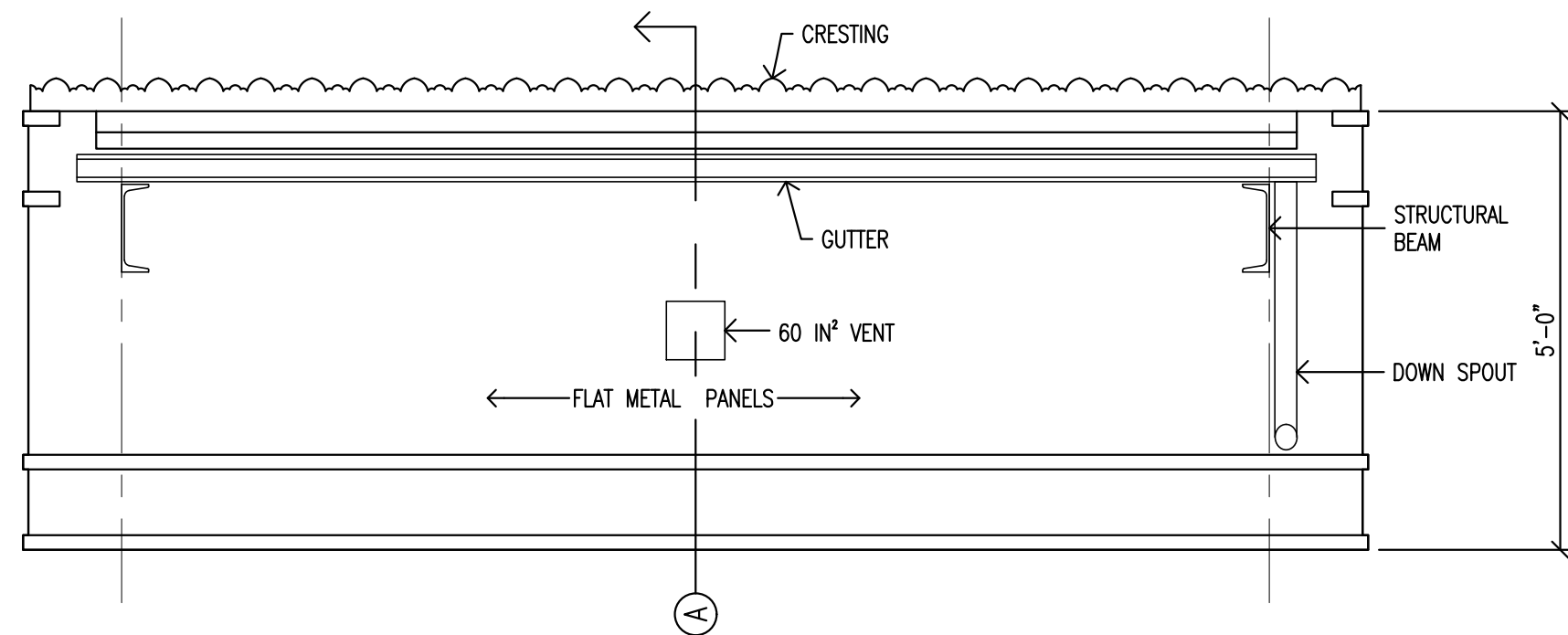
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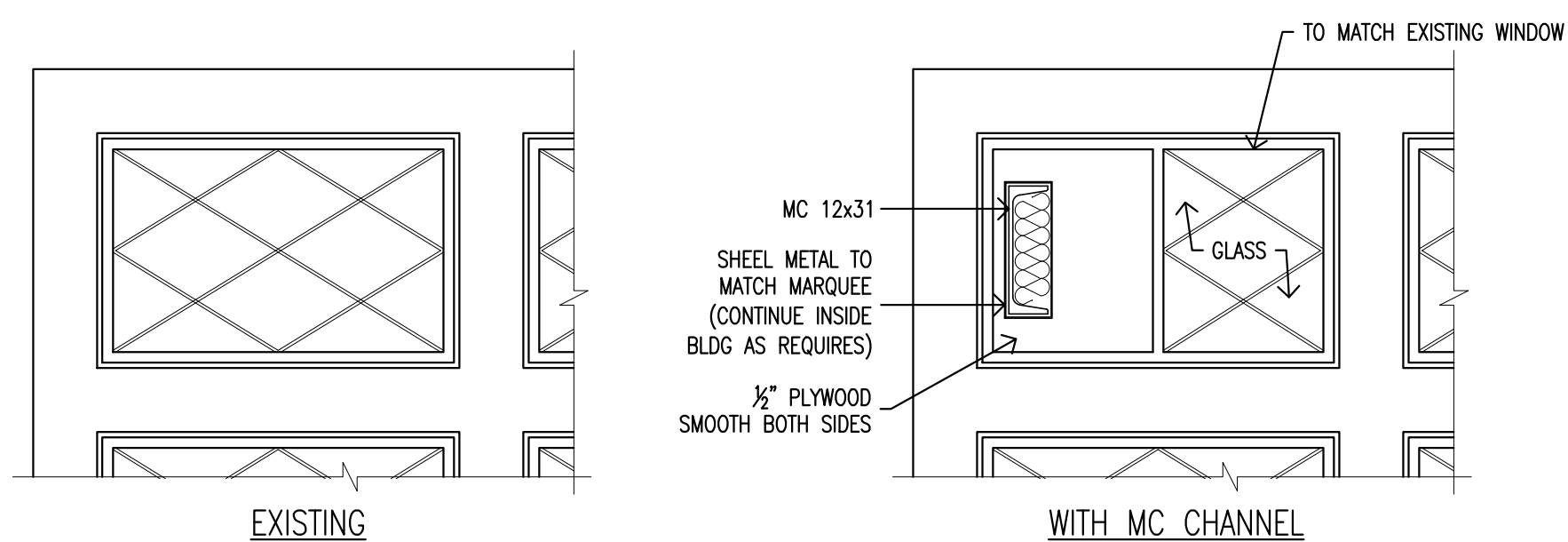
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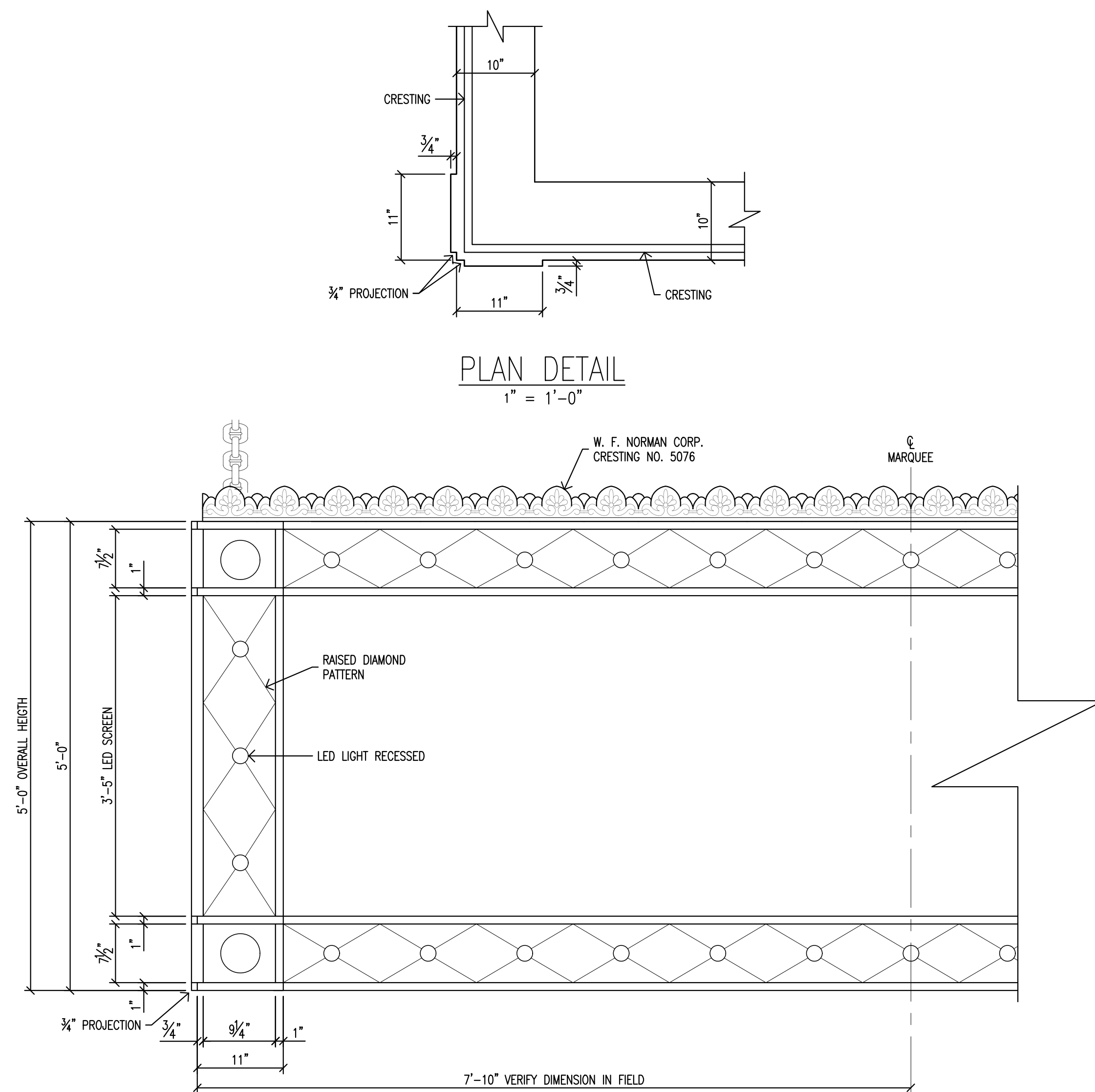
SECTION A
1/2" = 1'-0"



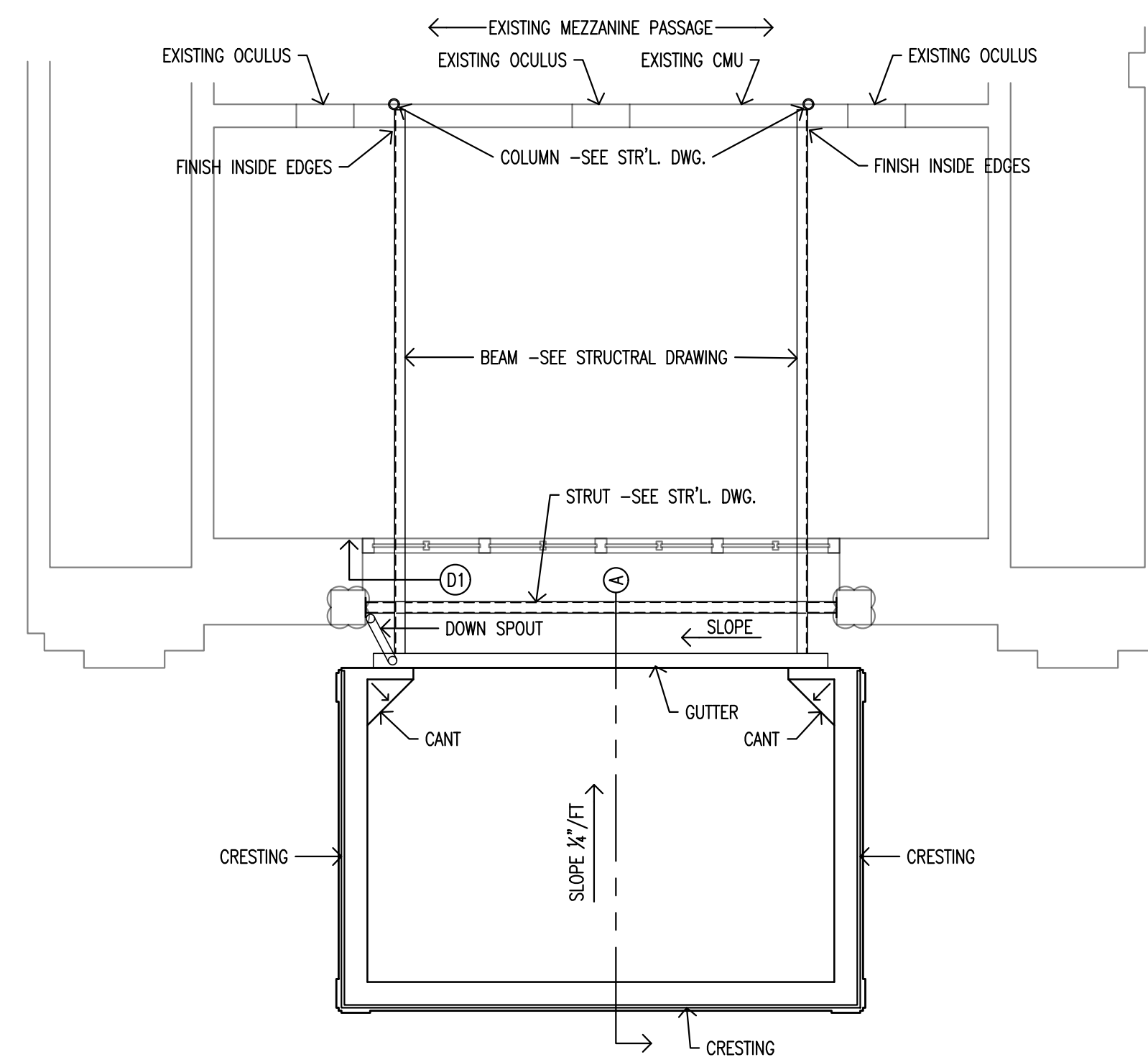
WEST ELEVATION
1/2" = 1'-0"



D-1
3/4" = 1'-0"



PARTIAL DETAIL / ELEVATION
1" = 1'-0"



ROOF PLAN
1/4" = 1'-0"

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DETAILS

Project Number: 004-19 Drawn By: HP Checked By: RW

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